

Left Side Street View



Street Side  
Elevation



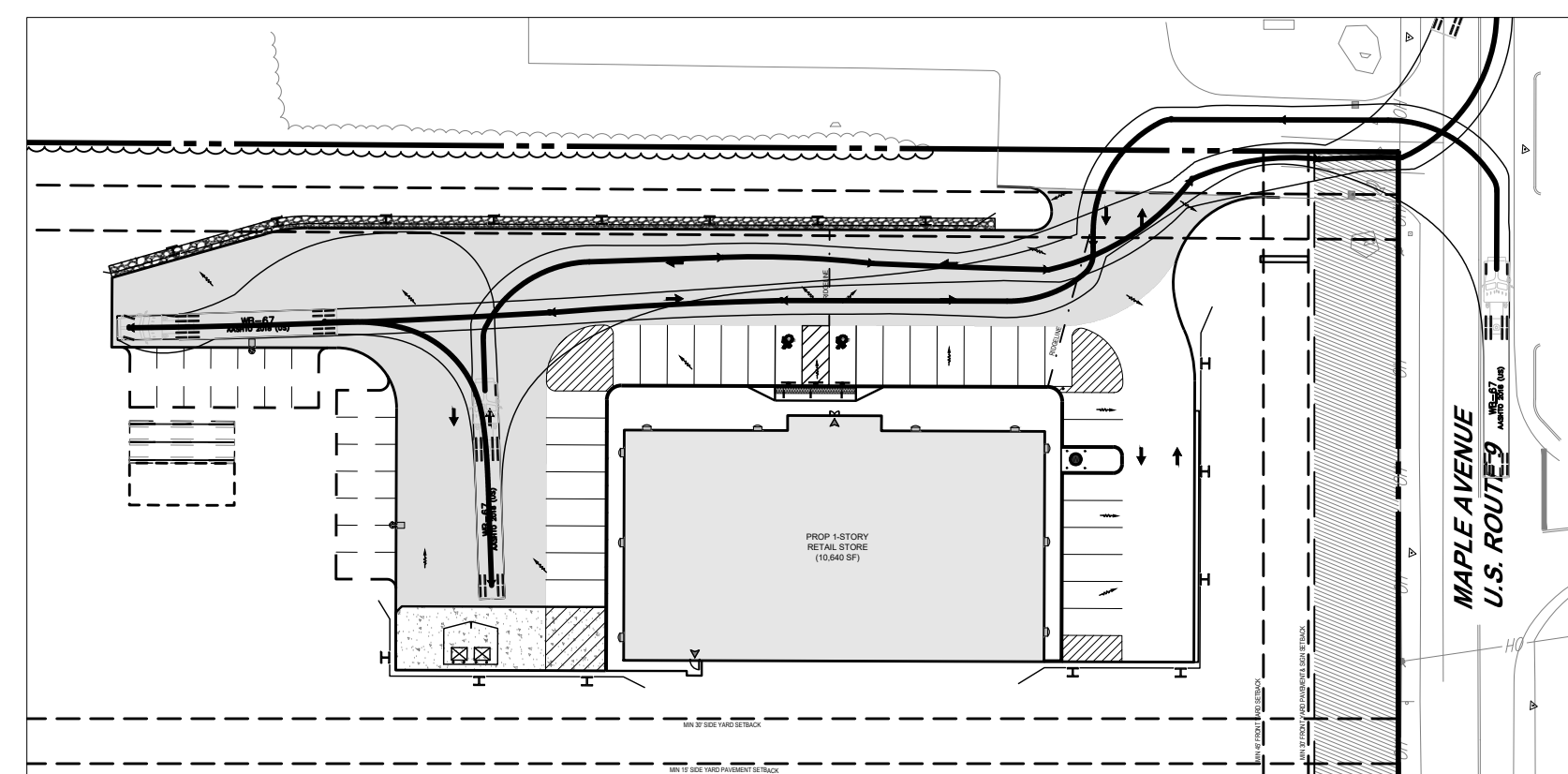
PRIMAX

Right Side  
Street View





LANDS N/F OF  
KELLOGG-POITIER, LLC  
BK. 2019, PG. 28228  
SECTION 15.3 BLOCK 1 LOT 15.112



**TRUCK TURN**

SCALE: 1"=60'  
TRUCK USED: WB-67

**TOWN STANDARD NOTES**

1. NOTIFY THE TOWN OF WILTON AND PAY INSPECTION FEES PRIOR TO STARTING WORK.
2. ALL LANDSCAPING/PLANTINGS SHALL BE MAINTAINED (REPLANTED IF NECESSARY) ON A YEARLY BASIS.
3. A PLANNING BOARD MEMBER, THE BUILDING INSPECTOR, THE DIRECTOR OF PLANNING, AND THE TOWN ENGINEER MAY VIEW THE SITE, AND ADDITIONAL PLANTINGS INSTALLED AS THEY DEEM NECESSARY, PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (C.O.).
4. TOTAL TRAFFIC MITIGATION FEE IS DUE UPON FINAL APPROVAL, PRIOR TO SIGNING OF ANY M/LAR.
5. SITE PLAN APPROVAL DOES NOT CONSTITUTE SIGNAGE APPROVAL. A SEPARATE SIGN PERMIT APPLICATION IS REQUIRED.
6. CERTIFICATION BY A P.E. THAT THE SITE WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED SITE PLAN IS REQUIRED PRIOR TO THE ISSUANCE OF THE C.O.
7. SUBMISSION OF AS-BUILTS, IF REQUIRED, IS DUE PRIOR TO ISSUANCE OF THE C.O.
8. TEMPORARY OR PERMANENT OUTDOOR STORAGE IS PROHIBITED, UNLESS SPECIFICALLY APPROVED AS PART OF THE FINAL SITE PLAN.
9. THE P.E. OR R.L.A.'S STAMP AND SIGNATURE ON THESE PLANS HEREBY CERTIFIES THAT THESE PLANS CONFORM TO THE REQUIREMENTS OF THE TOWN OF WILTON'S STORMWATER LAW.
10. THE PAVED ACCESS ROAD TO THE PROPERTY LINE IS FOR THE PURPOSE OF SHARED CROSS-ACCESS TO THE ADJOINING PARCEL(S) AND AS APPROVED BY THE WILTON PLANNING BOARD AND WHICH CROSS-ACCESS RIGHTS MAY BE DIRECTLY ENFORCED BY THE ADJOINING PARCELS THEMSELVES. IT SHALL REMAIN OPEN AND ACCESSIBLE AT ALL TIMES. ANY CLOSURE OR RESTRICTION OF ACCESS OF ANY KIND SHALL BE DEEMED A VIOLATION OF SITE PLAN APPROVAL. IN THE CASE OF DASHED LINES SHOWING A FUTURE PAVED CROSS-ACCESS ROAD, THIS ROAD SHALL BE PAVED TO THE PROPERTY LINE WITHIN 90 DAYS OF WRITTEN NOTICE FROM THE TOWN OF WILTON.

**ZONING TABLE**

PROPOSED ZONE: CR-1 COMMERCIAL RESIDENTIAL  
USE: RETAIL  
SEC. 153, BLOCK 1, PARCEL 15.113

**BULK REQUIREMENTS (CR-1)**

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	40,000 SF	11.83 ACRES (515,625 SF)	NO CHANGE
MIN. LOT FRONTAGE	200 FT	N/A	NO CHANGE
MIN. GREENSPACE	35 %	±100%	±7.6%
MIN. FRONT YARD	45 FT	N/A	118.2 FT
MIN. SIDE YARD	30 FT	N/A	31 FT
MIN. REAR YARD	100 FT	N/A	688.2 FT
MIN. FRONT YARD PAVEMENT & SIGN	30 FT	N/A	68.2 FT
MAX. BUILDING HEIGHT	35 FT	N/A	±20 FT
PARKING SPACE LOCATION	MAX. 33% IN FRONT OR SIDE YARD, REMAINING 67% IN REAR YARD	N/A	66% IN FRONT OR SIDE YARD, 34% IN REAR YARD (W)
PARKING SPACES	66 SPACES	N/A	32 SPACES ± 14 BARKED SPACES (W)
ACCESS PARKING SPACES	2 SPACES	N/A	2 SPACES
PARKING STALL CRITERIA USE: RETAIL	(R) SPACES PER 1,000 SF OF LEASABLE FLOOR AREA		N/A - NOT APPLICABLE
PARKING CRITERIA: CALCULATION:	(R) X 10,640 SF / 1,000 SF = 66 SPACES		(V) - VARIANCE REQUESTED (W) - WAIVER REQUESTED (E) - EXIST. NON-COMFORMANCE

**REVISIONS**

REV	DATE	COMMENT	CHECKED BY
1	1/20/2025	PER TOWN COMMENT	SJR
2	3/31/2025	TOWN SUBMITTAL	CVM



NEW YORK STATE  
YOU MUST CALL 811 BEFORE ANY EXCAVATION  
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.  
1-800-962-7862  
www.digsafelyny.com

**PRELIMINARY**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: NYE240109.00-0A  
DRAWN BY: SJR  
CHECKED BY: CVM  
DATE: 12/23/2024  
CAD LD.: P-CIVL-PROP

PROJECT:

**SITE DEVELOPMENT PLANS**

FOR  
**PRIMAX PROPERTIES, LLC.**

PROPOSED DEVELOPMENT  
MAP:153 | BLK:1 | LOT:15.113  
579 MAPLE AVENUE  
TOWN OF WILTON  
SARATOGA COUNTY  
NEW YORK

**BOHLER**

17 COMPUTER DRIVE WEST  
ALBANY, NY 12205  
Phone: (518) 438-9900  
Fax: (518) 438-0900  
www.BohlerEngineering.com

SHEET TITLE:

**SITE PLAN**

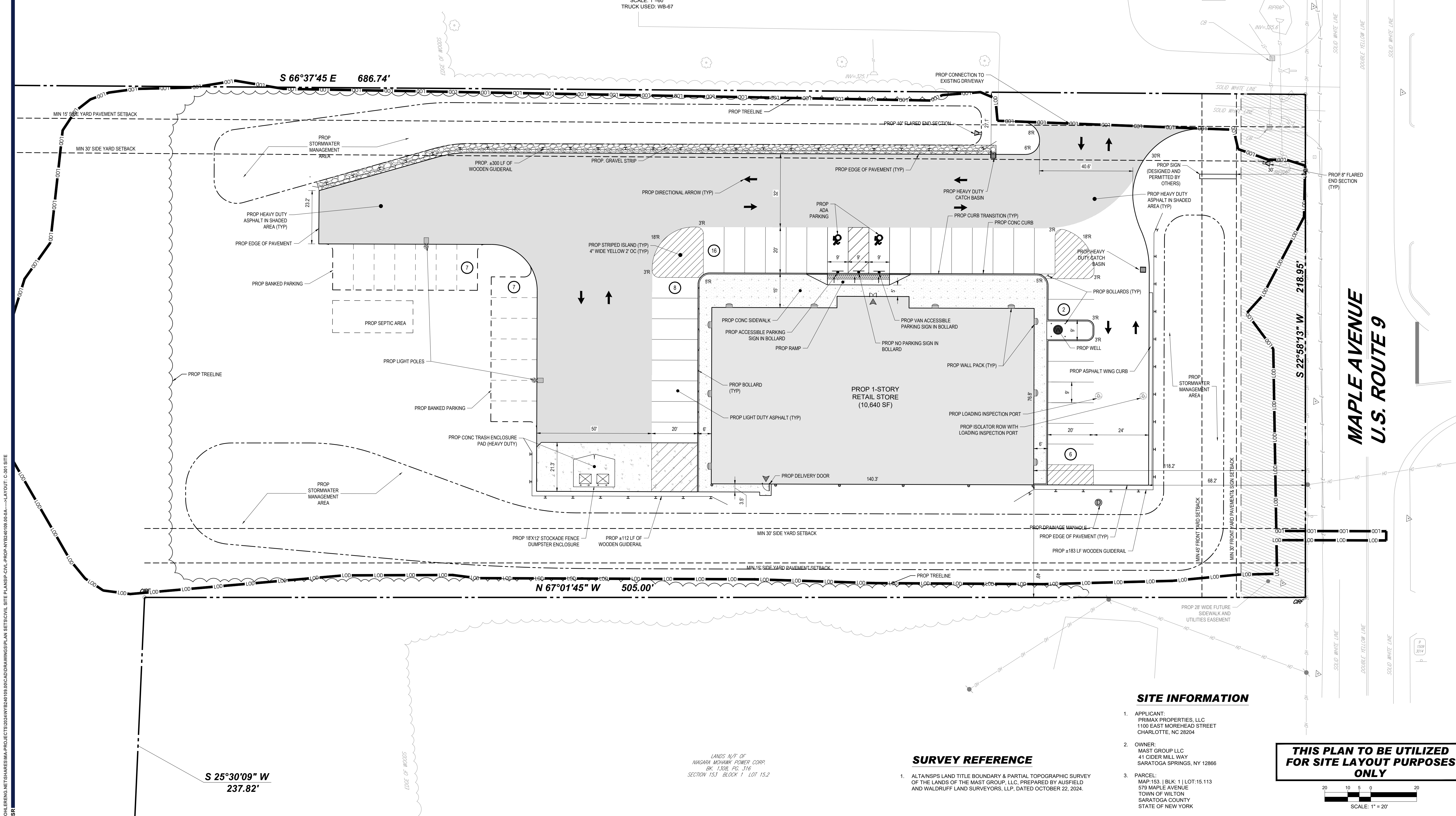
SHEET NUMBER:

**C-301**

REVISION 2 - 3/31/2025

BOHLER ENGINEERING, INC. PROJECT: 2024-193-00-CAD/DRAWINGS/PLAN SETS/CIVIL SITE PLAN/PROP. CIV. - PROP. NYE240109.00-0A - LAYOUT: C-301 SITE

THE TOWN OF WILTON, NEW YORK, HAS REVIEWED THIS SITE PLAN AND APPROVED THE PROPOSED DEVELOPMENT. THE TOWN ENGINEER HAS REVIEWED THE SITE PLAN AND APPROVED THE PROPOSED DEVELOPMENT. THE TOWN ENGINEER HAS REVIEWED THE SITE PLAN AND APPROVED THE PROPOSED DEVELOPMENT.



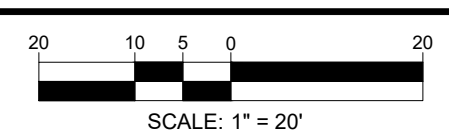
**SITE INFORMATION**

1. APPLICANT: PRIMAX PROPERTIES, LLC  
1100 EAST MOREHEAD STREET  
CHARLOTTE, NC 28204
2. OWNER: MAST GROUP LLC  
41 CIDER MILL WAY  
SARATOGA SPRINGS, NY 12866
3. PARCEL: MAP:153 | BLK:1 | LOT:15.113  
579 MAPLE AVENUE  
TOWN OF WILTON  
SARATOGA COUNTY  
STATE OF NEW YORK

**SURVEY REFERENCE**

1. ALTA/NSPS LAND TITLE BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY OF THE LANDS OF THE MAST GROUP, LLC, PREPARED BY AUSFIELD AND WALDRUFF LAND SURVEYORS, LLP, DATED OCTOBER 22, 2024.

**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY**



LANDS N/F OF  
NACARA MCHAMK POWER CORP.  
BK. 1308, PG. 316  
SECTION 15.3 BLOCK 1 LOT 15.2

S 25°30'09" W  
237.82'

S 66°37'45 E 686.74'

N 67°01'45" W 505.00'

MAPLE AVENUE  
U.S. ROUTE 9